

JACKSON EIGHT  
SITE DEVELOPMENT PLAN  
623 14TH STREET GOLDEN COLORADO

ZONE DISTRICT	C-2	
GENERAL ZONE LOT INFORMATION	SQFT.	ACRES
ZONE LOT SIZE (GROSS PROJECT AREA)	19,088.6	.438
MULTI-FAMILY AREA: 1-BEDROOM OR LESS, UNDER 800 SF	5,275.5	.12
COMMERCIAL AREA: BED & BREAKFAST	1,768.5	.04
PRIMARY STREET	JACKSON STREET	
SIDE STREET	14TH STREET	
PROPOSED USE(S)	MULTI-FAMILY , BED & BREAKFAST	
NUMBER OF DWELLING UNITS	8	
BUILDING FORM USED	GENERAL	
GROSS FLOOR AREA OF PROJECT	7,044	
DESIGN ELEMENTS	REQUIRED	PROVIDED
BED & BREAKFAST (EXISTING BUILDING)		
BUILDING HIEGHT, STORIES (MAX)	2	2
BUILDING HEIGHT, FEET (MAX)	30'	20'-7" EXISTING
APARTMENTS/CONDOS		
BUILDING HIEGHT, STORIES (MAX)	2	2
BUILDING HEIGHT, FEET (MAX)	30'	29' - 3 1/4"
BUILD-TO DIMENSIONS	REQUIRED	PROVIDED
PRIMARY STREET SETBACK-MIN (RE: SITE PLAN)	5'	4'- 4" EXISTING
SIDE STREET (SOUTH) SETBACK- MIN (RE: SITE PLAN)	0'	186'- 0"
SIDE STREET (NORTH) SETBACK - MIN (RE: SITE PLAN)	0'	18'-3" EXISTING
REAR, ALLEY SETBACKS- MIN (RE: SITE PLAN)	5'	5'
VEHICLE PARKING	REQUIRED	PROVIDED
MULTI-FAMILY: 1 SPACE/ 1 BEDROOM OR LESS, UNDER 800 SF	8	8
COMMERCIAL:1 SPACE/ BEDROOM & 1 SPACE/ STAFF	4	4
ACCESSIBLE	1	1
BICYCLE PARKING	REQUIRED	PROVIDED
MULTI-FAMILY: 2 SPACE/15% OF UNITS	1	2
BED & BREAKFAST: 1 SPACE/ 5% OF VEHICULAR PARKING	1	2
% COMMERCIAL TO RESIDENTIAL (MIXED USE)	REQUIRED	PROVIDED
25% MIN. COMMERCIAL SPACE REQUIRED	25%/1,761	25%/ 1,768.5 SF
COMMERCIAL SPACE PROVIDED	1,768.5	
MULTIFAMILY / COMMON/ STAIR COORIDOR SPACE PROVIDED	5,275.5	
TOTAL SPACE PROVIDED	7,044	

LEGAL DESCRIPTION

(THE FOLLOWING LEGAL DESCRIPTION WAS TAKEN FROM STUART TITLE GUARANTY COMPANY COMMITMENT NO. CO-20-23468 WITH AN EFFECTIVE DATE OF JANUARY 15, 2020 AT 12:00 A.M.)

PARCEL 1:

LOT 6, BLOCK 55, SOUTH SIDE OF CLEAR CREEK IN THE CITY OF GOLDEN, TOGETHER WITH THE NORTHERLY 1/2 OF THE PLATTED, NOW VACATED ALLEY ADJACENT TO THE SOUTHERLY LINE OF SAID LOT, COUNTY OF JEFFERSON, STATE OF COLORADO.

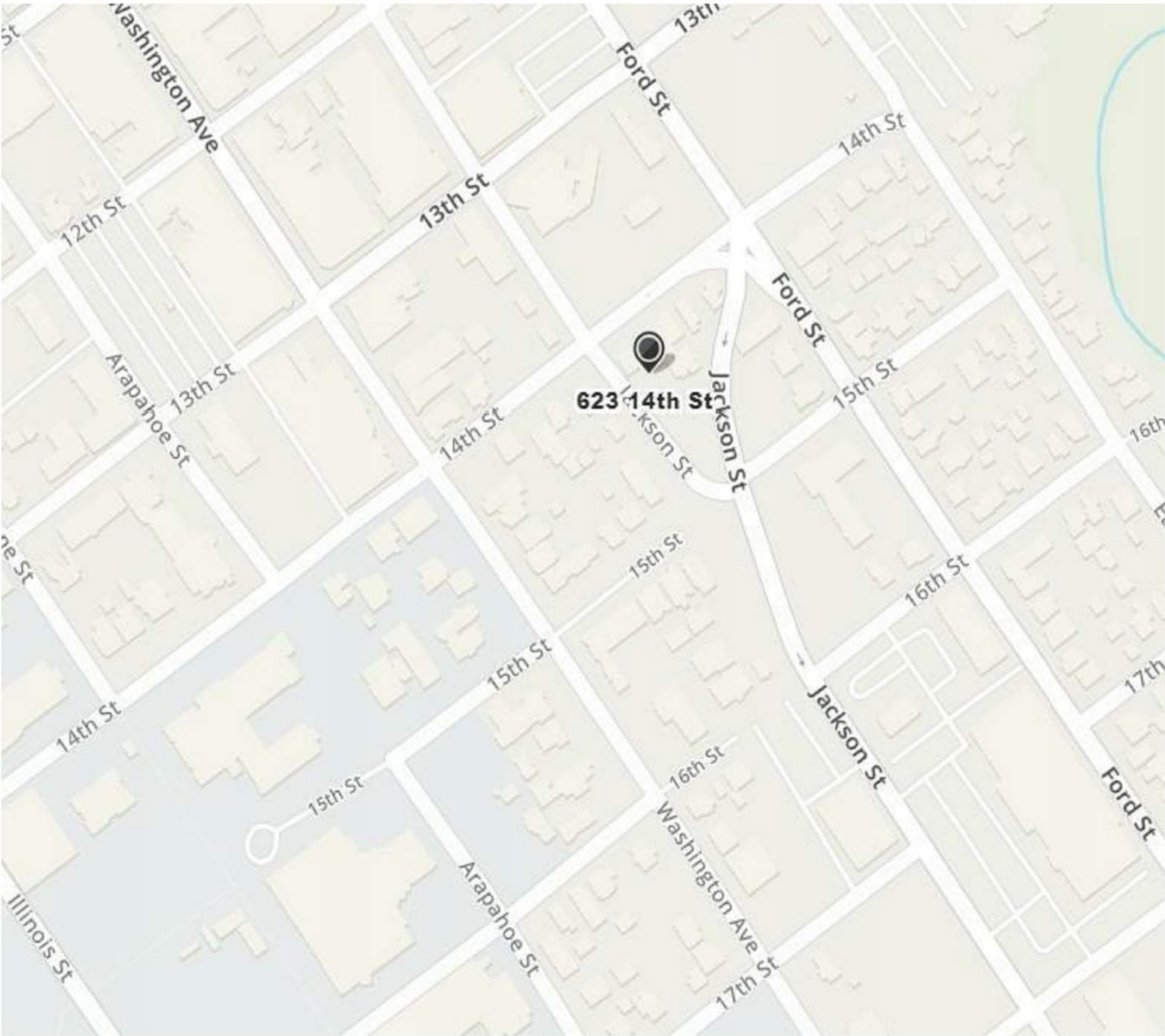
PARCEL 2:

THAT PART OF LOTS 7, 8 AND 9, AND THE VACATED ALLEY IN BLOCK 55, SOUTH GOLDEN, A PORTION OF VACATED 15TH STREET, AND A PORTION OF LOT 6, BLOCK 58, SOUTH GOLDEN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF SAID JACKSON STREET WITH THE CENTERLINE OF THE VACATED ALLEY IN SAID BLOCK 55; THENCE SOUTHEASTERLY ALONG THE EASTERLY LINE OF THE FIRST PARCEL OF LAND DESCRIBED IN THE DEED TO THE CITY OF GOLDEN RECORDED ON NOVEMBER 21, 1960 IN BOOK 1321 AT PAGE 118; A DISTANCE OF 150 FEET, MORE OR LESS, TO A POINT ON THE SOUTHEASTERLY LINE OF SAID BLOCK 55, WHICH IS 9.5 FEET NORTHEASTERLY OF THE SOUTHWESTERLY CORNER OF SAID LOT 7; THENCE CONTINUING SOUTHEASTERLY ACROSS 15TH STREET TO A POINT ON THE NORTHWESTERLY LINE OF BLOCK 58 WHICH IS 14 FEET NORTHEASTERLY OF THE NORTHWESTERLY CORNER OF SAID LOT 6 IN BLOCK 58; THENCE CONTINUING SOUTHEASTERLY ALONG THE WESTERLY LINE OF THE TRACT OF LAND CONVEYED TO ROBERT A. BAXTER AND ALMA P. BAXTER BY THE CITY OF GOLDEN IN DEED RECORDED ON APRIL 28, 1971 IN BOOK 2255 AT PAGE 994, A DISTANCE OF 50 FEET TO THE SOUTHWESTERLY CORNER OF SAID TRACT; THENCE NORTHEASTERLY ALONG THE SOUTHERLY LINE OF SAID TRACT, A DISTANCE OF 5 FEET TO THE SOUTHEASTERLY CORNER OF SAID TRACT; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID TRACT AND SAID NORTHEASTERLY LINE EXTENDED TO A POINT ON THE SOUTHEASTERLY LINE OF BLOCK 55 WHICH IS 55.5 FEET NORTHEASTERLY OF THE SOUTHWESTERLY CORNER OF SAID BLOCK 55, SAID POINT ALSO BEING THE SOUTHWESTERLY CORNER OF THE TRACT OF LAND CONVEYED BY ROBERT A. BAXTER TO THE CITY OF GOLDEN IN CORRECTION DEED RECORDED ON JANUARY 24, 1978 AT RECEPTION NO. 78006486; THENCE NORTHWESTERLY ALONG THE WESTERLY LINE OF SAID TRACT, A DISTANCE OF 165 FEET, MORE OR LESS, TO THE NORTHWESTERLY CORNER OF SAID TRACT BEING ON THE CENTERLINE OF THE ALLEY IN SAID BLOCK 55; THENCE SOUTHWESTERLY ALONG THE CENTERLINE OF SAID ALLEY, A DISTANCE OF 123 FEET, MORE OR LESS, TO THE POINT OF BEGINNING OF THE TRACT OF LAND DESCRIBED HEREIN,

EXCEPT THAT PARCEL OF LAND CONVEYED TO THE CITY OF GOLDEN, COLORADO, A COLORADO HOME-RULE MUNICIPAL CORPORATION, BY SPECIAL WARRANTY DEED RECORDED SEPTEMBER 21, 2010 AT RECEPTION NO. 2010082645,

COUNTY OF JEFFERSON, STATE OF COLORADO.



OWNER'S SIGNATURE

I (We), the undersigned, shall comply with all regulations contained in Golden Zoning Code. The following signature constitute all owners and holders of deed of trust for land and structure included in this plan:

Wamserville West, LLC

BY \_\_\_\_\_ DATE \_\_\_\_\_

State of Colorado  
City of Golden

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ AD20\_\_\_\_ by:

Witness my hand and official seal

My commission expires: \_\_\_\_\_

Notary Public

Address \_\_\_\_\_

CITY OF GOLDEN PLANNING COMMISSION

Approved by the city of Golden Planning Commision

This \_\_\_\_\_ day of \_\_\_\_\_, 2020

Chairman \_\_\_\_\_

Secretary \_\_\_\_\_

AREA SCHEDULE (GROSS BUILDING)

NAME	AREA	COMMENTS	AREA USE
BED & BREAKFAST- EXISTING 1ST LEVEL	1,170 SF		COMMERCIAL
BED & BREAKFAST- EXISTING 2ND LEVEL	500 SF		COMMERCIAL
BED & BREAKFAST- ADDITION 2ND LEVEL	98.5 SF		COMMERCIAL
	1,768.5 SF		
UNIT 1- 1ST LEVEL	583 SF		MULTI-FAMILY
UNIT 2- 1ST LEVEL	559 SF		MULTI-FAMILY
UNIT 3- 1ST LEVEL	575 SF		MULTI-FAMILY
UNIT 4- 1ST LEVEL	567 SF		MULTI-FAMILY
UNIT 5- 2ND LEVEL	726 SF		MULTI-FAMILY
UNIT 6- 2ND LEVEL	510 SF		MULTI-FAMILY
UNIT 7- 2ND LEVEL	526 SF		MULTI-FAMILY
UNIT 8- 2ND LEVEL	824 SF		MULTI-FAMILY
	4,870 SF		
COMMON AREAS/ STAIR COORIDOR/WATER & TELECOM ROOM	405.5 SF		
TOTAL:	7,044 SF		

SDP-SHEET INDEX

SHEET #	SHEET NAME
1	COVER SHEET & NOTES
2	SURVEY SHEET
3	GRADING & UTILITY PLAN
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6	BUILDING ELEVATIONS
7	LANDSCAPE PLAN
8	LANDSCAPE NOTES & DETAILS
9	PHOTOMETRIC PLAN
10	OPEN SPACE+SUSTAINABILITY
11	3D STREET VIEW



MmD  
ARCHITECTURE

DATE | ISSUE

08.24.2020 City Submittal  
10.15.2020 Rev City Submittal

COVER SHEET & NOTES

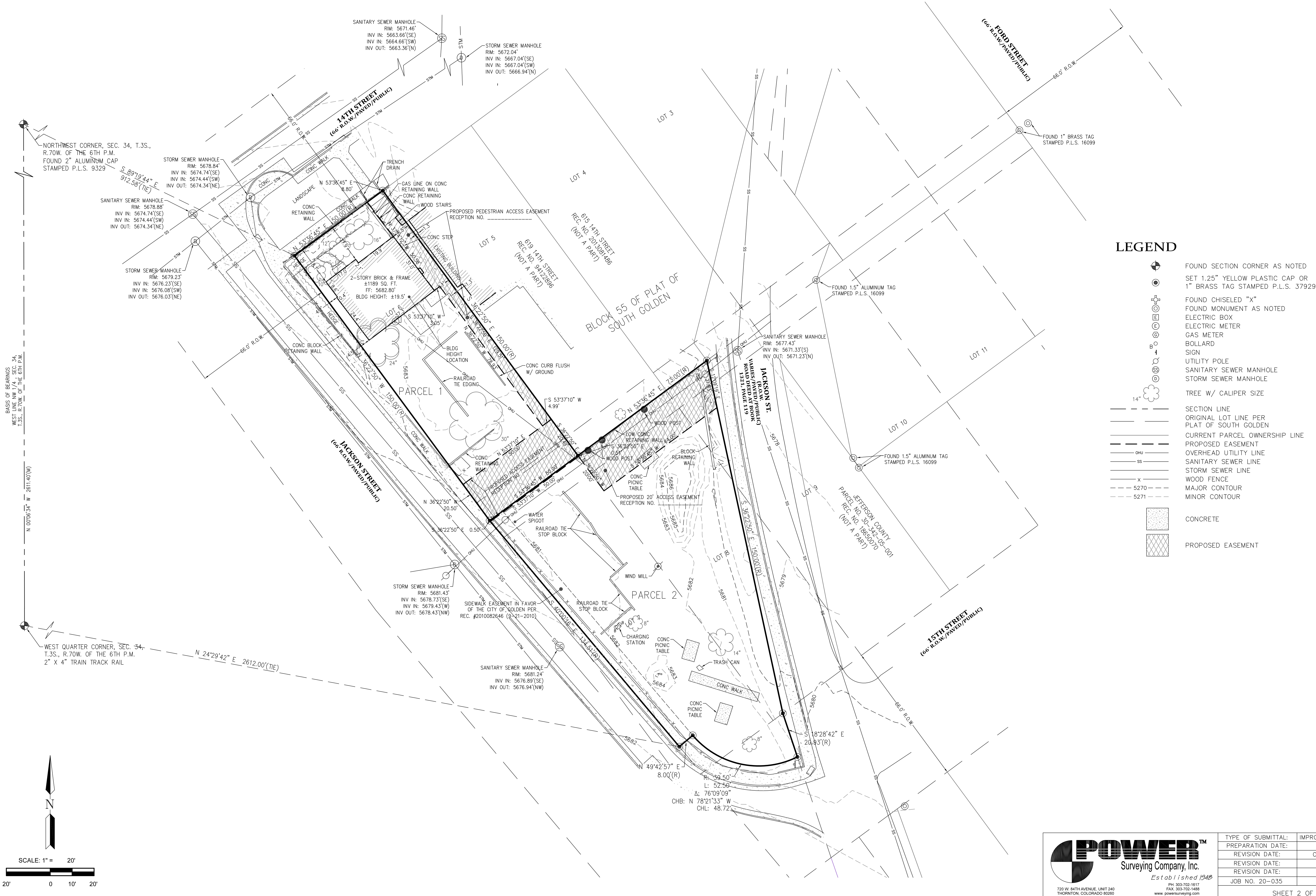
SHEET 1 OF 11

PROJECT NO. 22003



# Improvement Survey Plat

A PARCEL OF LAND LYING WITHIN THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO

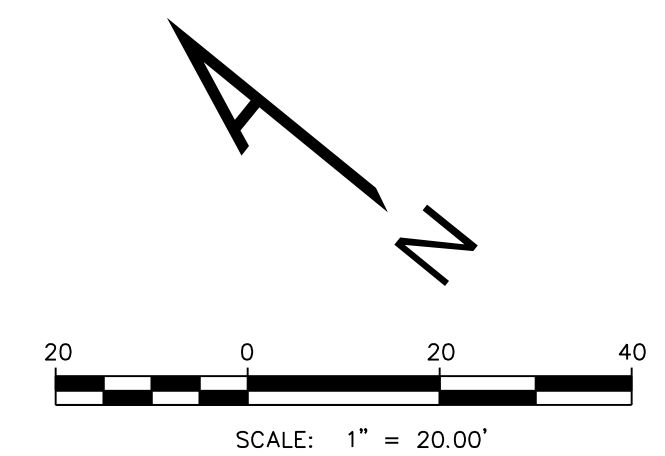
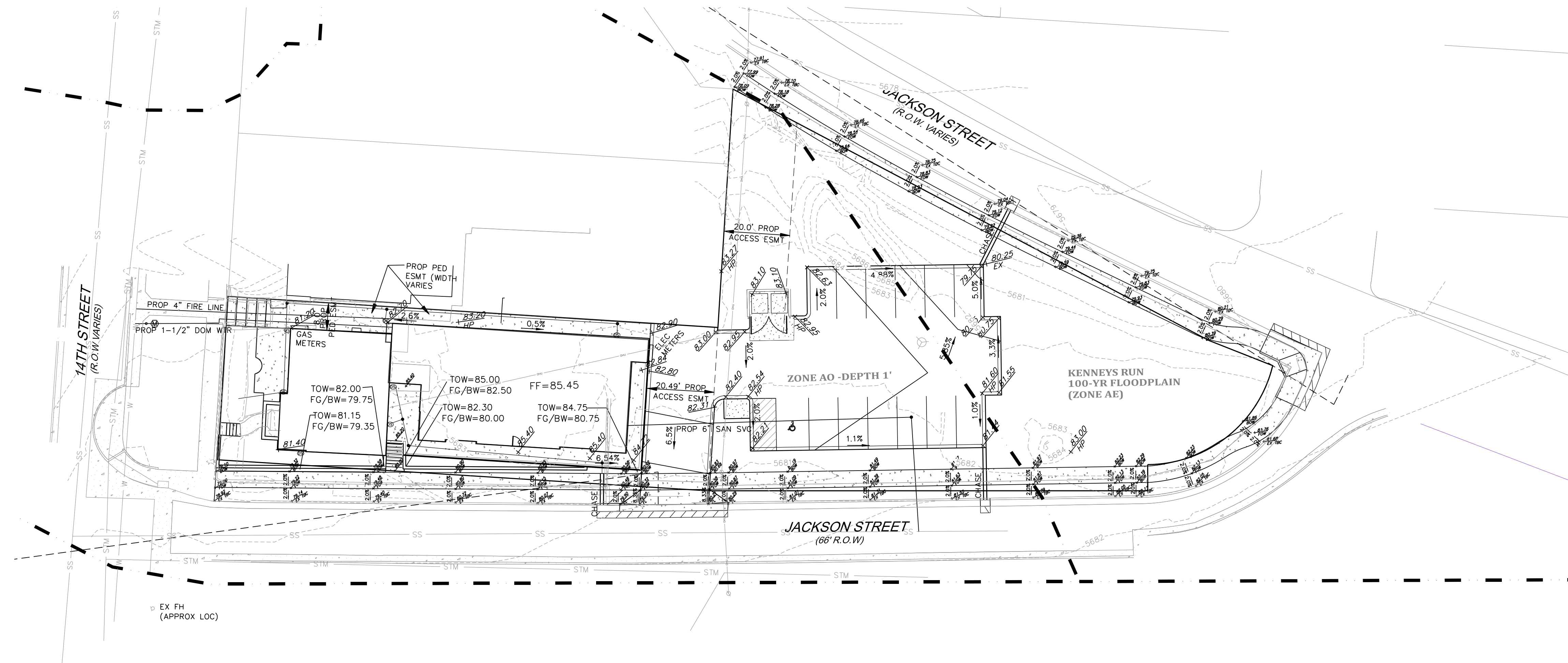




JACKSON EIGHT  
SITE DEVELOPMENT PLAN  
623 14TH ST, GOLDEN, CO 80401

**LEGEND**

	PROP CONCRETE		EXISTING POWER POLE
	ASPHALT REMOVE & REPLACE		EXISTING WIND TURBINE
	PROP SPOT ELEV		EX SPOT ELEV
<b>ABBREVIATIONS</b>			EX OVERHEAD ELEC
EX EXISTING			EX SANITARY SEWER
FL FLOWLINE			EX STORM SEWER
FG/BW FINISHED GRADE AT			EXIST WATER LINE
BOTTOM OF WALL			
TOW TOW OF WALL			
BOW BACK OF WALK			
TOW FRONT OF WALK			
ALL SPOT ELEV. ARE FINISHED GRADE UNLESS OTHERWISE NOTED			



DATE	ISSUE
08.25.2020	1ST SUBMITTAL
10.15.2020	REV CITY SUBMITTAL

GRADING &  
UTILITY PLAN  
SHEET 3 OF 11



# JACKSON EIGHT

## SITE DEVELOPMENT PLAN

623 14TH STREET GOLDEN COLORADO

### BASE PLANE

BASE PLANE = 5682.35'  
(\* RE: SURVEY / CIVIL GRADING PLAN)

5681.3+5682.7+5682.1+5683.3/4= 5682.35

FINISH FLOOR ELEVATION 100' 0"= 5685.45'

### SITE PLAN LEGEND

- NEW STANDARD GRAY CONCRETE, BROOM FINISHED. RE: CIVIL FOR GRADES
- HATCH INDICATES BUILDING ELEMENTS (BALCONY, SHADING DEVICES) ABOVE THAT ARE INCLUDED IN LOT COVERAGE CALC.
- INDICATED EXISTING STRUCTURE TO REMAIN
- 5'-0" ACCESSIBLE ROUTE: RE: CIVIL FOR GRADES AND SLOPES
- EV INDICATES ELECTRIC CHARGING STATION
- NEW 6" HIGH CEDAR FENCE
- DS DOWNSPOUT LOCATION

### OPEN SPACE CALCULATION TABLE:

MULTIFAMILY SIDE YARD	=7,719 SF
MULTIFAMILY PATIO AND LANDSCAPING	=906 SF
MULTIFAMILY FRONT LANDSCAPING	=152 SF
MULTIFAMILY FRONT ENTRY	=345 SF
UNIT 5 ROOF TOP	=460 SF
UNIT 8 ROOF TOP	=730 SF
BED & BREAKFAST COURT YARD	=200 SF
BED & BREAKFAST SIDE LANDSCAPING	=232 SF
BED & BREAKFAST FRONT LANDSCAPING	=295 SF
BED & BREAKFAST FRONT PATIO	=170 SF
BED & BREAKFAST ACCESSIBLE WALK	=618 SF
TOTAL	=11,827 SF
LOT AREA	=20,457 SF
25% OF LOT	=4,091.4 SF
PROVIDED OPEN SPACE	=11,827 SF
	=57.8%

FOR MIXED USE DEVELOPMENT, THERE IS A MINIMUM OPEN SPACE REQUIRED TO BE EQUAL TO OR GREATER THAN 25% OF THE LOT AREA.

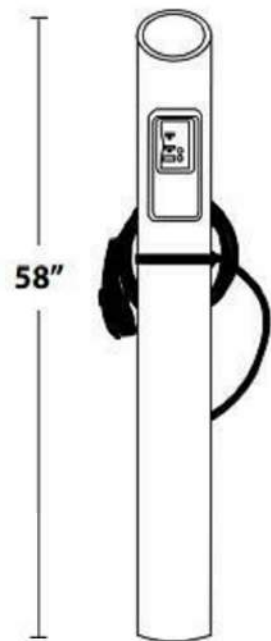
OPEN SPACES IN THESE CALCULATIONS INCLUDE LAWN AREA, LANDSCAPE ZONES, PEDESTRIAN WALKWAYS, PORCHES, OUTDOOR DECKS (EVEN ON LEVELS ABOVE GRADE).

\*\*\* SEE SHEET 10 FOR GRAPHICS

### PARKING REQUIREMENTS:

MULTIFAMILY:	1 SPACE/ 1 BEDROOM OF LESS, UNDER 800SF
	8 UNITS = 8 SPACES
COMMERCIAL:	1 SPACE/BEDROOM
	3 BEDROOMS
	1 SPACE/ STAFF
	1 STAFF
	=4 SPACES
12 REQUIRED + 1 EXTRA SPACE TOTAL	
	12 STANDARD & 1 ACCESSIBLE
	* 2 EV SPACES PROVIDED FROM TWO STANDARD SPACE

### EV Charging Station Product Specifications



#### TECHNICAL SPECIFICATIONS

Adjustable Amperage: 12-30 Amps

Voltage: 96-264 VAC

Cord Length: 23 ft.

Weight: 125 lbs.

Dimensions: Diameter 7.2" Height 58"

Input/Output Power: 7.2 KW

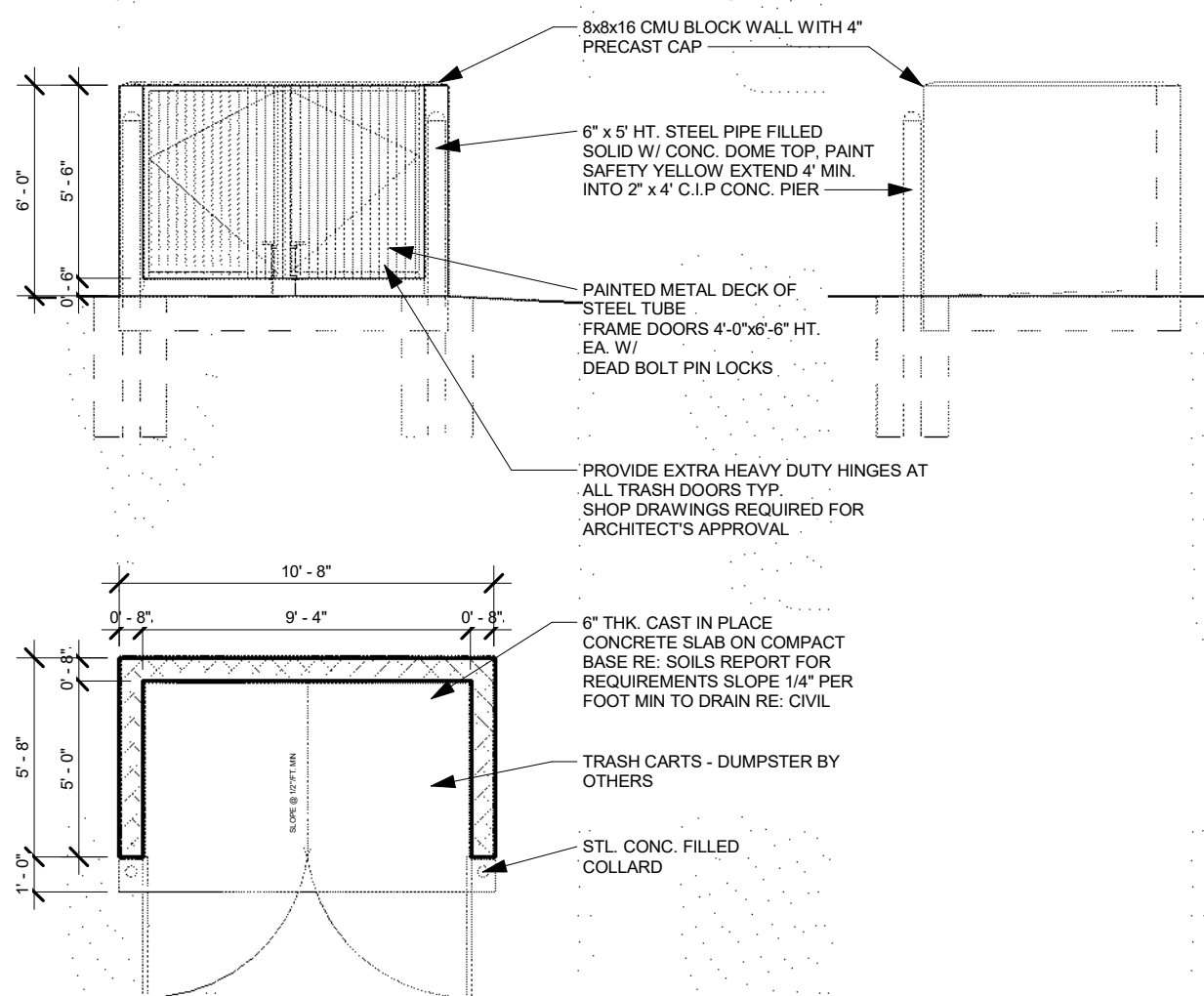
Input Current: 30 Amps

Breaker Size: 40 Amps

Temperature Ratings: -30°F to +150°F (-35°C to +66°C)

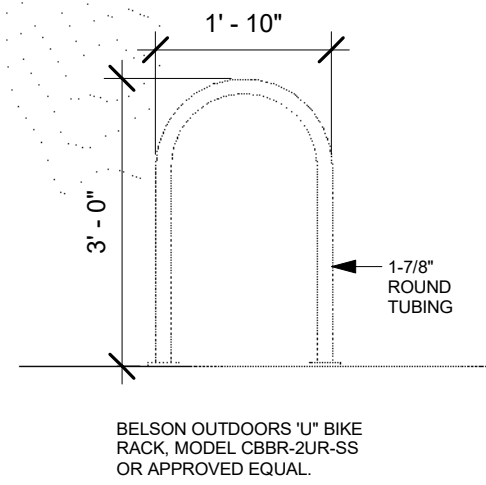
Bollard Cover: 1/4" wall thickness, high density thermoplastic (HDPE)

Available in any color



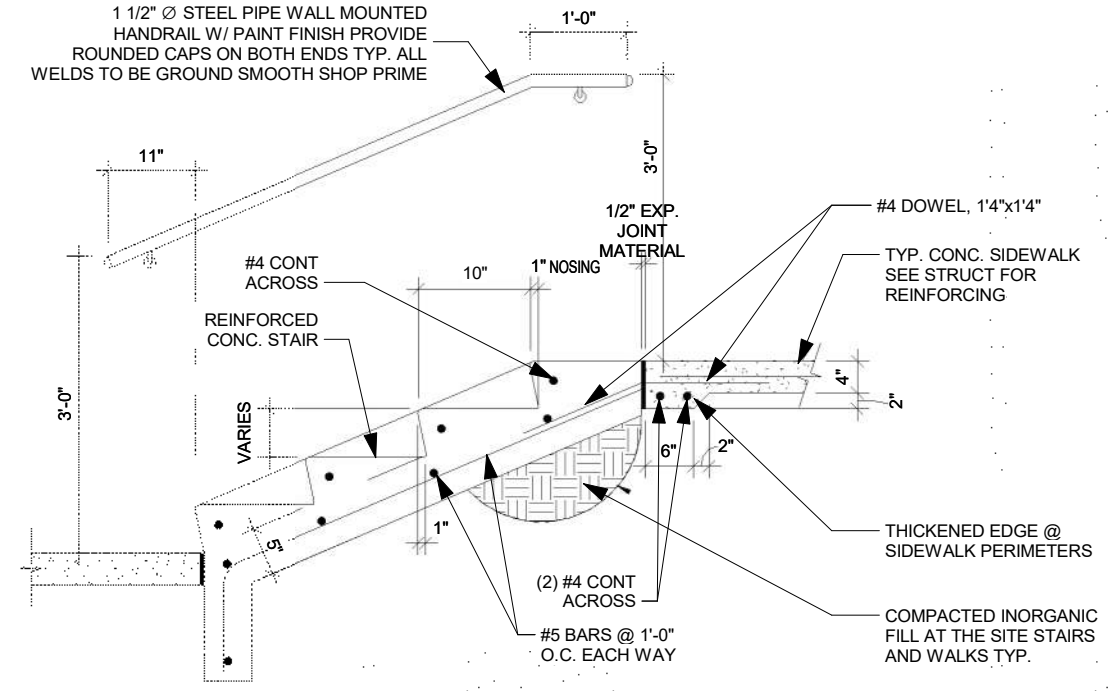
### 5 TRASH ENCLOSURE DETAIL

SCALE: 3/16" = 1'-0"



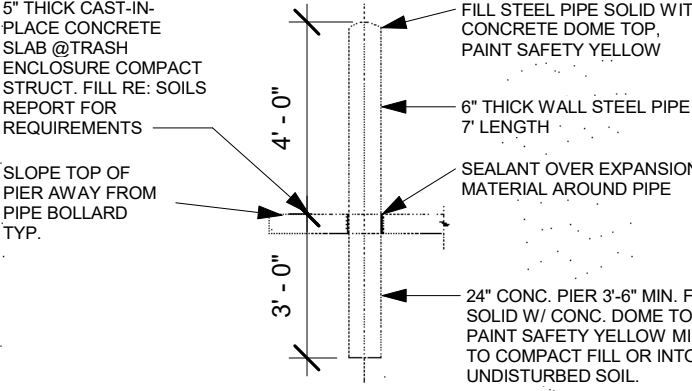
### 4 INVERTED-U BIKE RACK

SCALE: 1/2" = 1'-0"



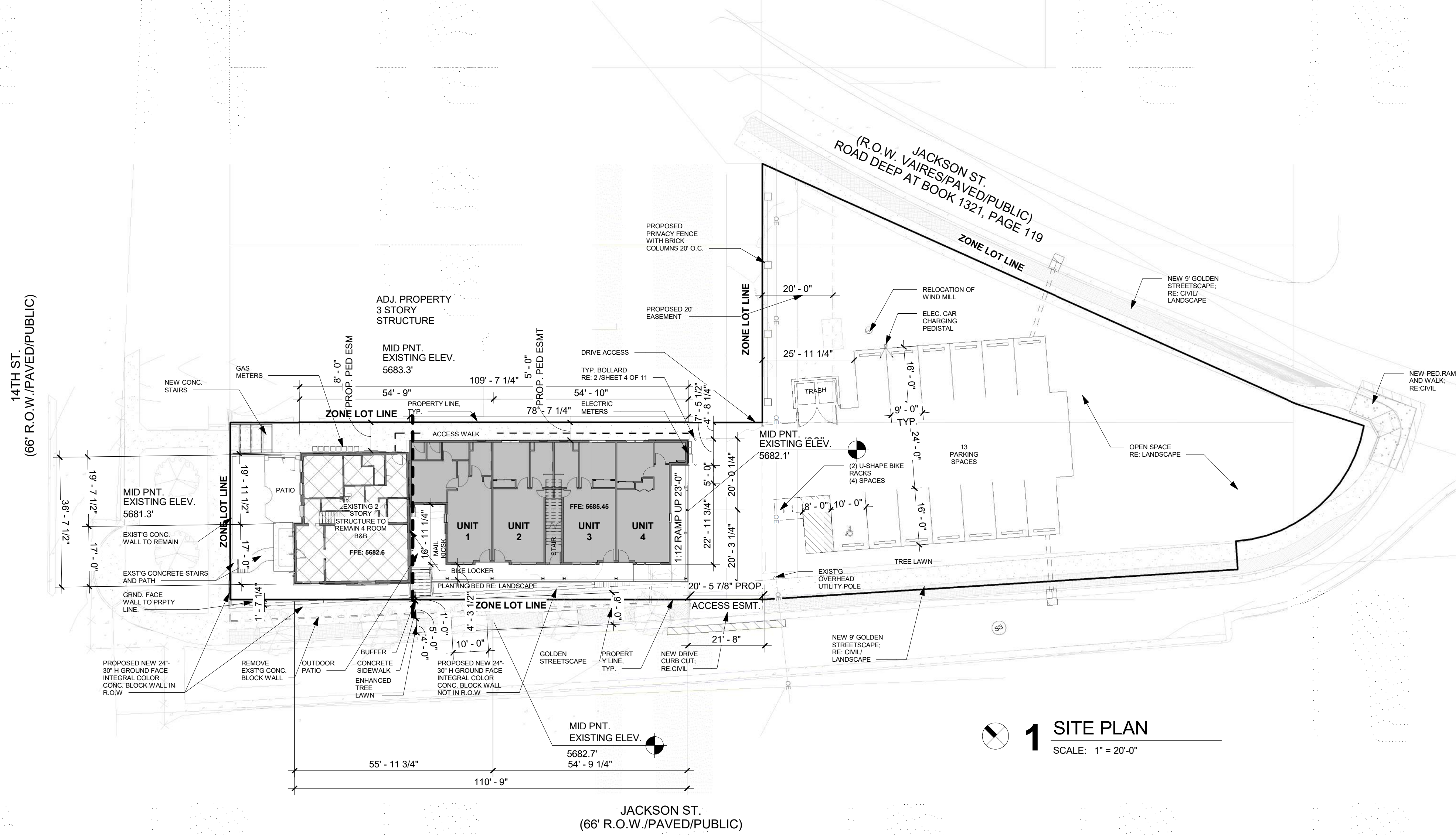
### 3 CONCRETE SITE STAIRS

SCALE: 1/2" = 1'-0"



### 2 TYP. BOLLARD DETAIL

SCALE: 1/4" = 1'-0"



### 1 SITE PLAN

SCALE: 1" = 20'-0"

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08.24.2020 City Submittal

10.15.2020 Rev. City Submittal

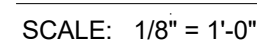
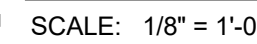
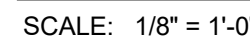
SITE PLAN

SHEET 4 OF 11

PROJECT NO. 22003

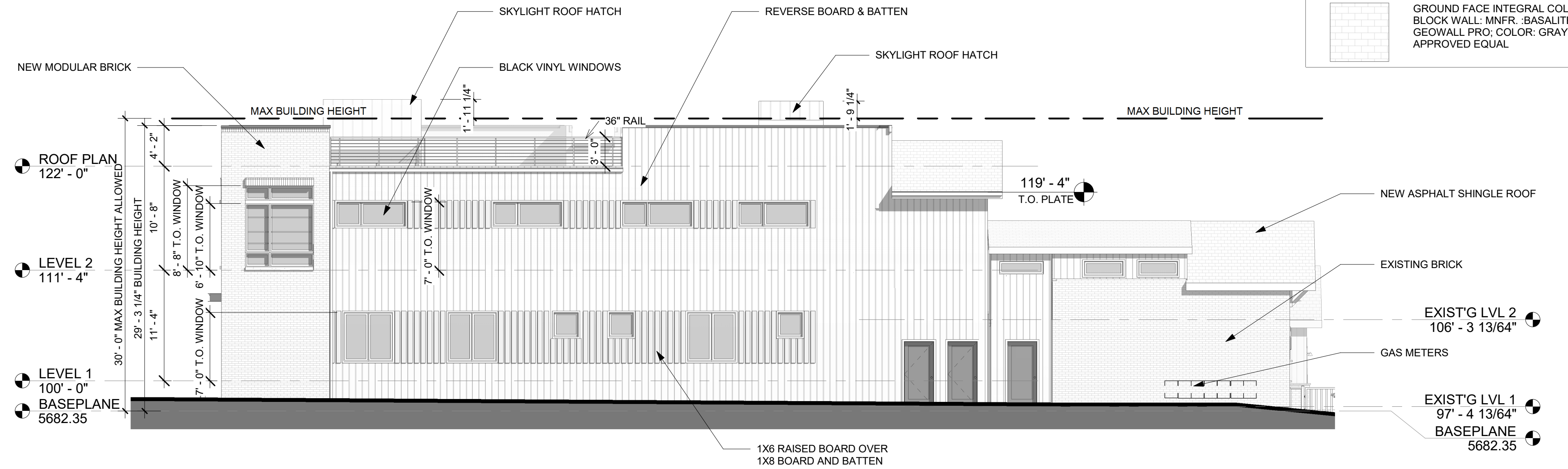


623 14TH STREET GOLDEN COLORADO



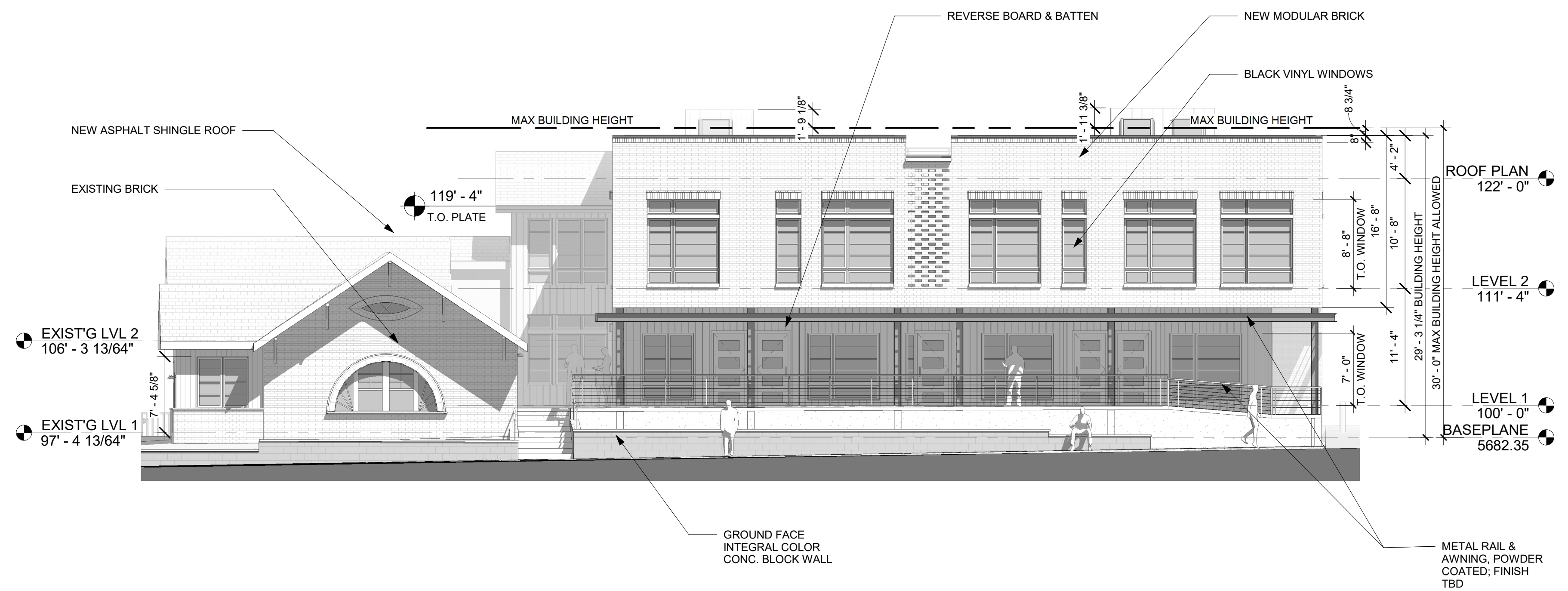


## ELEVATION MATERIALS LEGEND



### 3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



# 1 SDP-WEST (JACKSON ST.) ELEVATION



DATE	ISSUE
08.24.2020	City Submittal
10.15.2020	Rev.City Submittal

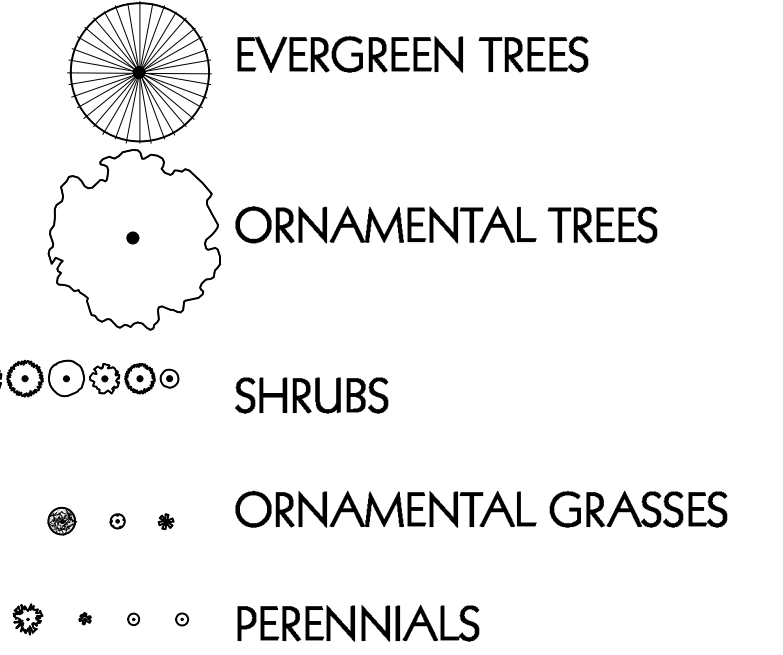
## BUILDING ELEVATIONS


SHEET 6 OF 11

PROJECT NO. 22003



**LEGEND:**



 ORNAMENTAL GRASSES  
 PERENNIALS

ENHANCED PAVING

CRUSHER FINE SURFACE

### CONCRETE WALKS / SURFACE

4' BRICK PAVING @ EDGE OF STREET

 BBQ GRILL PICNIC TABLE BENCH[illegible]

LANDSCAPE PLAN



SCALE: 1"=16'-0"



PLANT LIST: 10/14/20					
KEY	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	O.C. SPACING
SHADE TREES:					
DKC	2	Decaf Kentucky Coffeetree	Gymnocladus dioicus 'McKBranded'	2.5" cal.	as shown
EO	7	English Oak	Quercus robur	2.5" cal.	as shown
EPT	8	Exclamation! Planetree	Platanus x acenfolia Exclamation!	2.5" cal.	as shown
HB	4	Hackberry	Celtis occidentalis	2.5" cal.	as shown
SHL	1	Shademaster Honeylocust	Gleditsia triacanthos var. inermis 'Shademaster'	2.5" cal.	as shown
TOTAL:	22				
ORNAMENTAL TREES:					
ABP	4	Autumn Blaze Pear	Pyrus calleryana 'Autumn Blaze'	2.5" cal.	as shown
PRC	5	Prairie Rose Crabapple	Malus x 'Prairie Rose'	2.5" cal.	as shown
TOTAL:	5				
SHRUBS:					
AVJ	18	Andora Youngstown Juniper	Juniperus horizontalis 'Youngstown'	5 gal.	4' o.c.
BMS	19	Dark Knight Spirea	Caryopteris x clandonensis 'Dark Knight'	5 gal.	4' o.c.
BR	26	Bonica Rose	Rosa Bonica	5 gal.	4' o.c.
CM	31	Creeping Mahonia	Mahonia repens	5 gal.	3' o.c.
DKL	16	Dwarf Korean Lilac	Syringa meyeri 'Palibini'	5 gal.	4' o.c.
EGE	19	Emerald Gaiety Wintercreeper	Euonymus fortunei 'Emerald Gaiety'	5 gal.	2.5' o.c.
MMP	3	Miniature Mugo Pine	Pinus mugo 'Mops'	5 gal.	4' o.c.
MRBB	7	Miss Ruby Butterfly Bush	Buddleja 'Miss Ruby'	5 gal.	4' o.c.
MSR	13	Morden Sunrise Rose	Rosa 'Morden Sunrise'	5 gal.	4' o.c.
NFS	29	Neon Flash Spirea	Spirea 'Neon Flash'	5 gal.	3' o.c.
PM	32	Panchito Manzanita	Arctostaphylos coloradoensis	5 gal.	3' o.c.
RGB	30	Rose Glow Japanese Barberry	Berberis thunbergii 'Rose Glow'	5 gal.	4' o.c.
SC	5	Spreading Cotoneaster	Cotoneaster divaricatus	5 gal.	5' o.c.
WSR	7	White Meidiland Landscape Rose	Rosa Meidiland White	5 gal.	4' o.c.
TOTAL:	255				
ORNAMENTAL GRASSES:					
BAG	15	Blue Avena Grass	Helictotrichon sempervirens	1 gal.	18" o.c.
BFG	112	Black Flowering Fountain Grass	Pennisetum alopecuroides 'Moudry'	1 gal.	18" o.c.
DFG	39	Dwarf Fountain Grass	Pennisetum alopecuroides 'Hamel'	1 gal.	18" o.c.
FRG	26	Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 gal.	24" o.c.
MG	28	Morning Light Maiden Grass	Miscanthus sinensis 'Morning Light'	1 gal.	36" o.c.
VFRG	128	Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 gal.	18" o.c.
TOTAL:	348				
PERENNIALS/GROUNDCOVERS:					
BC	75	Brokovo Canebilla	Geranium x cantabrigiense 'Brokovo'	1 gal.	18" o.c.
HL	17	Deep Blue Lavender	Lavandula angustifolia 'Hidcote'	1 gal.	15" o.c.
HRD	36	Happy Returns Dwarf Daylily	Hemerocallis x 'Happy Returns'	1 gal.	24" o.c.
PF	56	Partridge Feather	Tanacetum densum amani	1 gal.	12" o.c.
TS	18	Turkish Speedwell	Veronica lianensis	1 gal.	12" o.c.
TOTAL:	202				

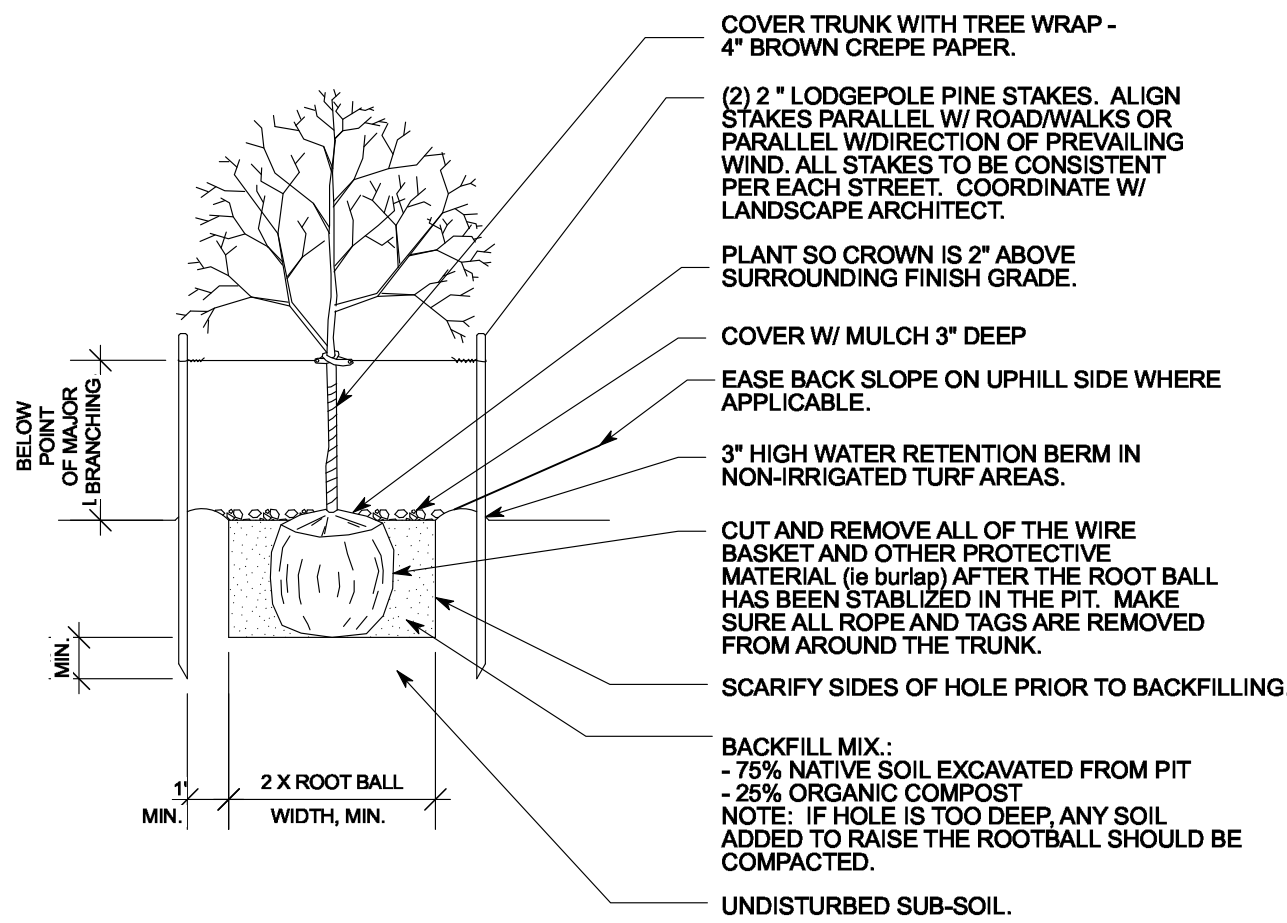
PLANT NOTES:

1. All plant material shall meet specifications of the American Association of Nurserymen (AAN) for number one grade. All trees shall be balled and burlapped or equivalent. All plant materials shall have all wire, twine or other containment materials, except for burlap, removed from trunk and root ball of the plant prior to planting.
2. Trees shall not be planted closer 10 feet to any sewer or water line. Tree planting shall be coordinated with Public Service Company. Locations of all utilities shall be verified in the field prior to planting.
3. All shrubs shall be planted no less than 3' from any sidewalk or curb. All street trees in planting strips to be centered between curb and sidewalk.
4. Grades shall be set to allow for proper drainage away from structures. Grades shall maintain smooth profiles and be free of surface debris, bumps, and depressions.
5. Developers shall ensure that the landscape plan is coordinated with the plans done by other consultants so that the proposed grading, storm drainage, or other constructions does not conflict nor preclude installation and maintenance of landscape elements on this plan.
6. All shrub beds adjacent to turf areas shall be edged with Ryerson or approved equivalent steel edger.
7. All shrub beds shall be mulched with a 4" layer of wood bark mulch. Ornamental grasses, perennials and groundcovers in these areas shall be mulched with a 3" layer of shredded bark mulch. Landscape fabric to be installed ONLY under shrubs (do not install fabric below ornamental grasses, perennials or groundcovers to allow plants to spread).
8. Prior to installation of plant materials, areas that have been compacted or disturbed by construction activity shall be thoroughly loosened; organic soil amendments shall be incorporated at the rate of at least three (3) cubic yards per 1000 square feet of landscape area.
9. All tree lawn areas will be sodded with drought tolerant bluegrass blend. All slopes steeper than 3:1 will have erosion control fabric.
10. All landscape (plant materials and grass) will be irrigated with an automatic system. Turf areas will have a spray zone, shrubs will have a drip zone and perennials/groundcovers (part of the drip zone) will have micro-jet sprays. Plants with like water requirements are shown together in order to have an efficient use of water. Irrigation to be in stalled in all parking lot islands.
11. Contractor shall verify all material quantities prior to installation. Actual number of plant symbols shall have priority over the quantity designated.
12. Refer to the City of Golden Design and Construction Streetscaping Standards for all work within public areas, including tree protection standards. The developer will make every effort possible to protect trees within the site using the same standards. Contractor to provide adequate tree protection, prune roots when adjacent new curbs and sidewalks, and water trees frequently during construction.
13. Refer to the Civil Engineer Drawings for Grading and Utility information.
14. This plan meets or exceeds City of Golden landscape code requirements.
15. HOA documents to include a provision for maintenance of all landscape on the site, including plant replacement when necessary over time.
16. Any existing tree with limbs lower the 8' extending into the ROW will be trimmed back to provide clear access.

JACKSON EIGHT

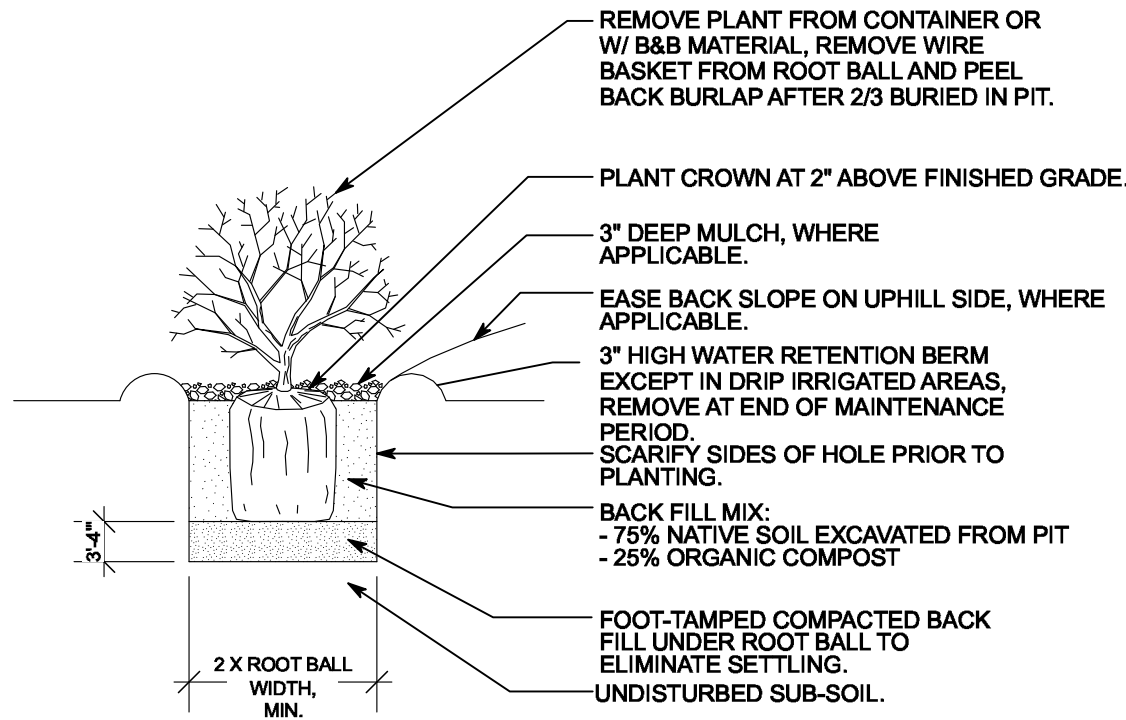
SITE DEVELOPMENT PLAN

623 W. 14TH STREET, GOLDEN CO 80401



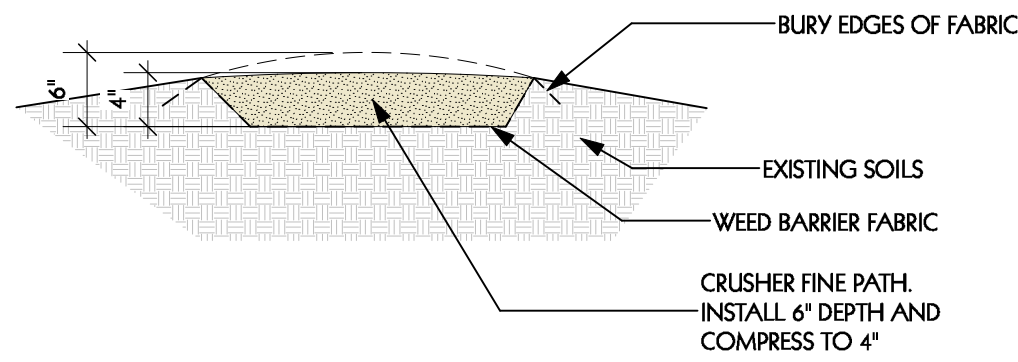
DECIDUOUS TREE PLANTING AND STAKING

SCALE: NTS



TYPICAL SHRUB PLANTING

SCALE: NTS

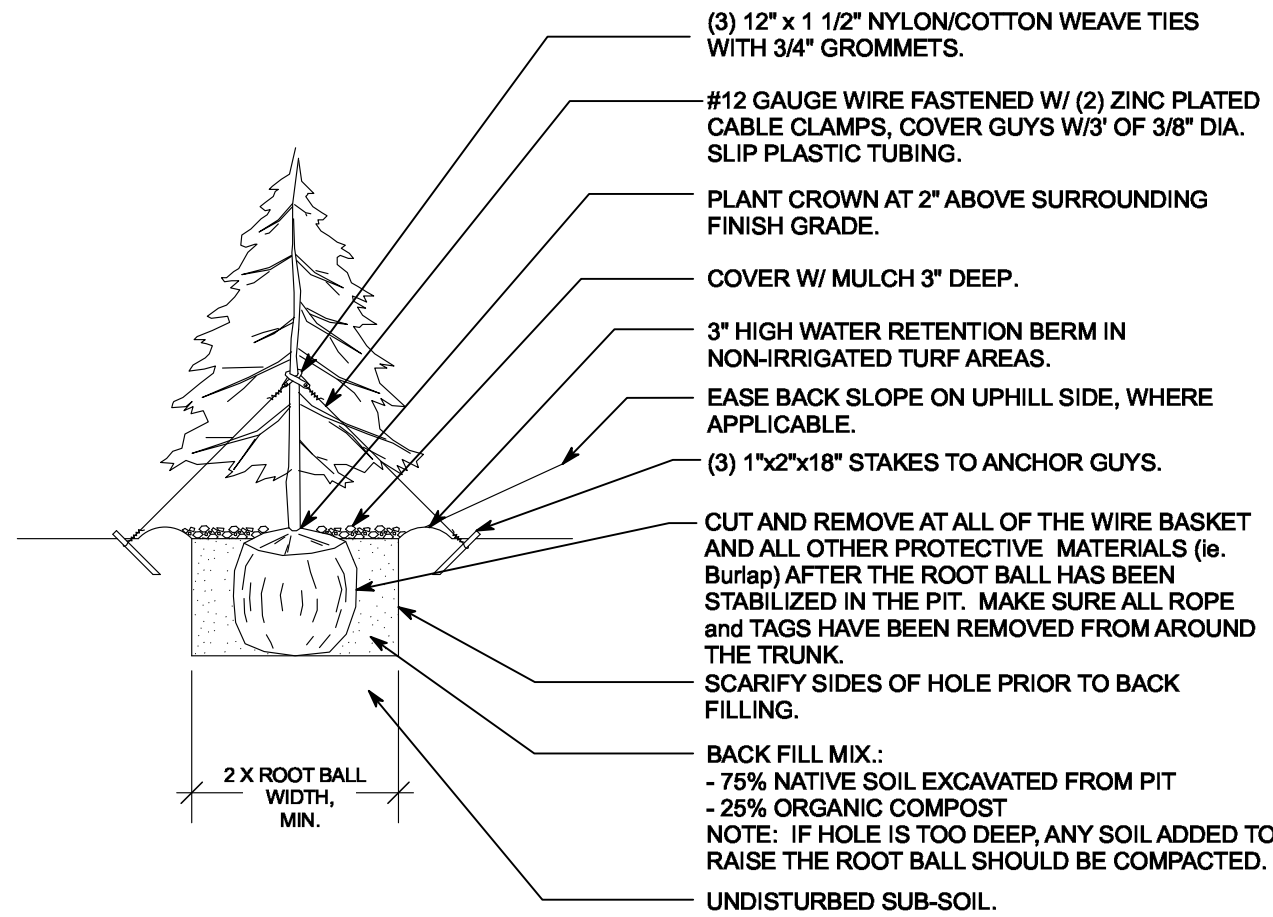


SOFT SURFACE TRAIL

SCALE: NTS

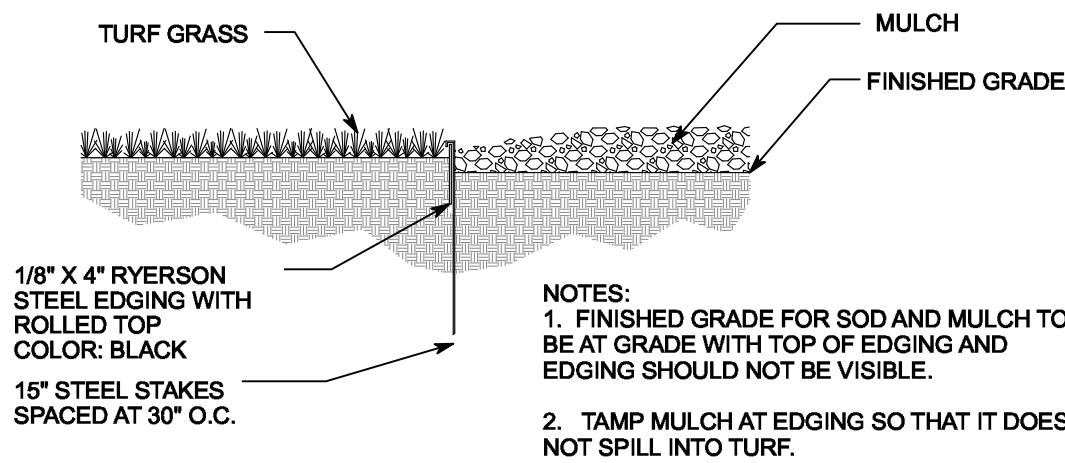


TABLES



EVERGREEN TREE PLANTING AND STAKING

SCALE: NTS



STEEL EDGER

SCALE: NTS



CANTILEVER GRILL  
BY: THE PARK CATALOG  
(398-1026, 1064 SF)

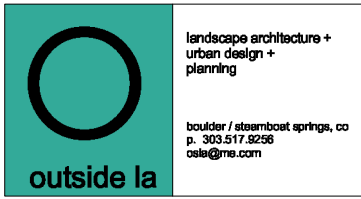
BBQ GRILLS



EARTHCARE SERIES BENCH  
BY: LITCHFIELD (NO. 3181,  
RECYCLED PLASTIC, COLOR CEDAR  
SLATES, BLACK STEEL)

INSTALL BENCHES WITH SURFACE  
MOUNTING ON CONCRETE PADS

BENCHES



DATE	ISSUE
8.24.2020	City submittal
10.14.2020	CITY SUBMITTAL

LANDSCAPE NOTES  
& DETAILS



# JACKSON EIGHT SITE DEVELOPMENT PLAN

623 W. 14TH STREET, GOLDEN CO 80401

[illegible]

**GENERAL NOTES:**

1. ANY PROPOSED LIGHT FIXTURE INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.
2. ALL LIGHT FIXTURES ARE DARK SKY FRIENDLY/FULL CUT-OFF TYPE.

**PHOTOMETRIC STATISTICS**

AVERAGE	0.5 fc
MAXIMUM	7.1 fc
MINIMUM	0.0 fc

**1 SITE LIGHTING PHOTOMETRIC PLAN**

0 20' 40'

1"=20'

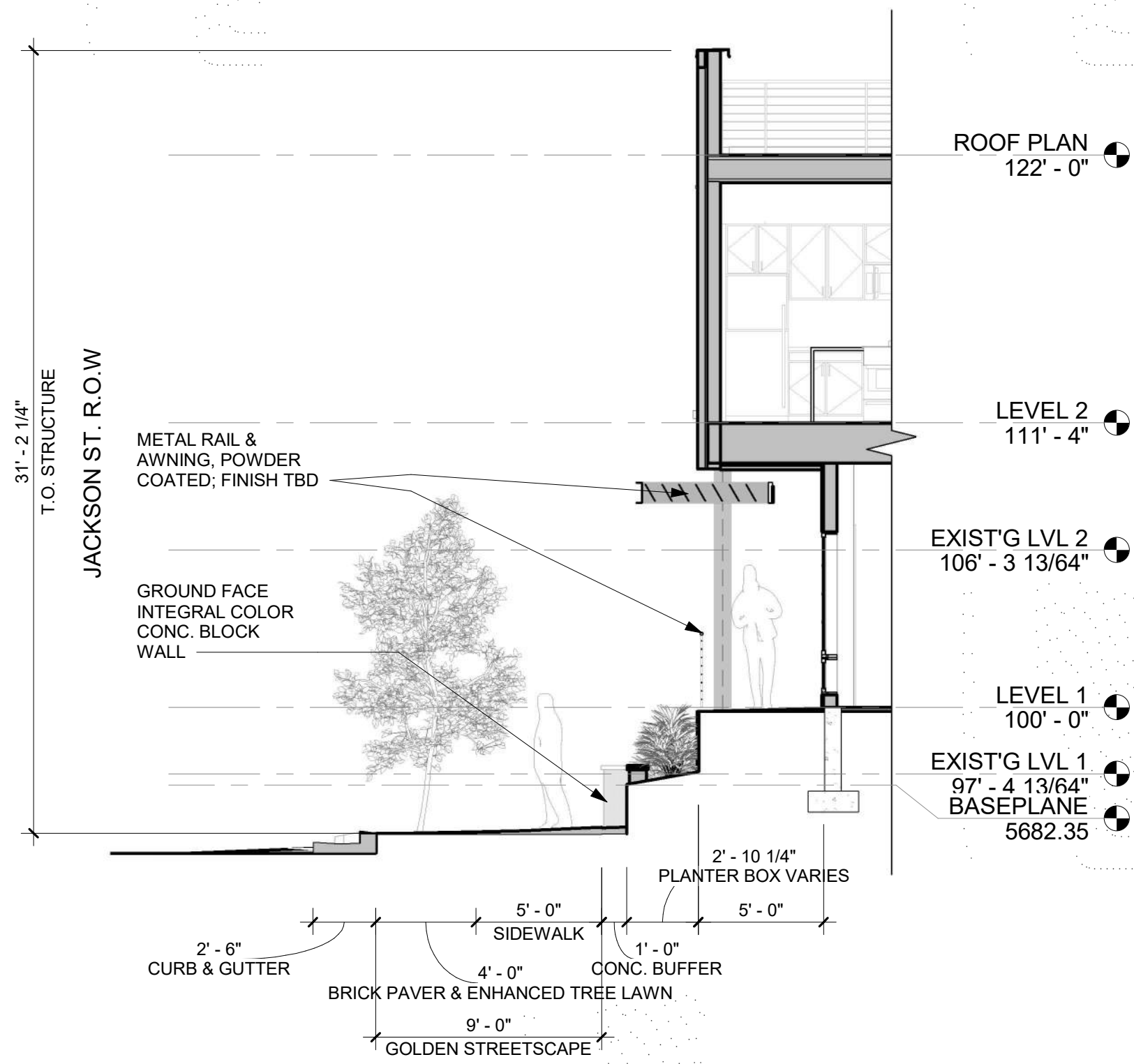
**NORTH**

Product Listing - Landscape Lighting | 2024-07-10 10:00 AM CDT | User: jason@luminance.com | Page: 1 of 1

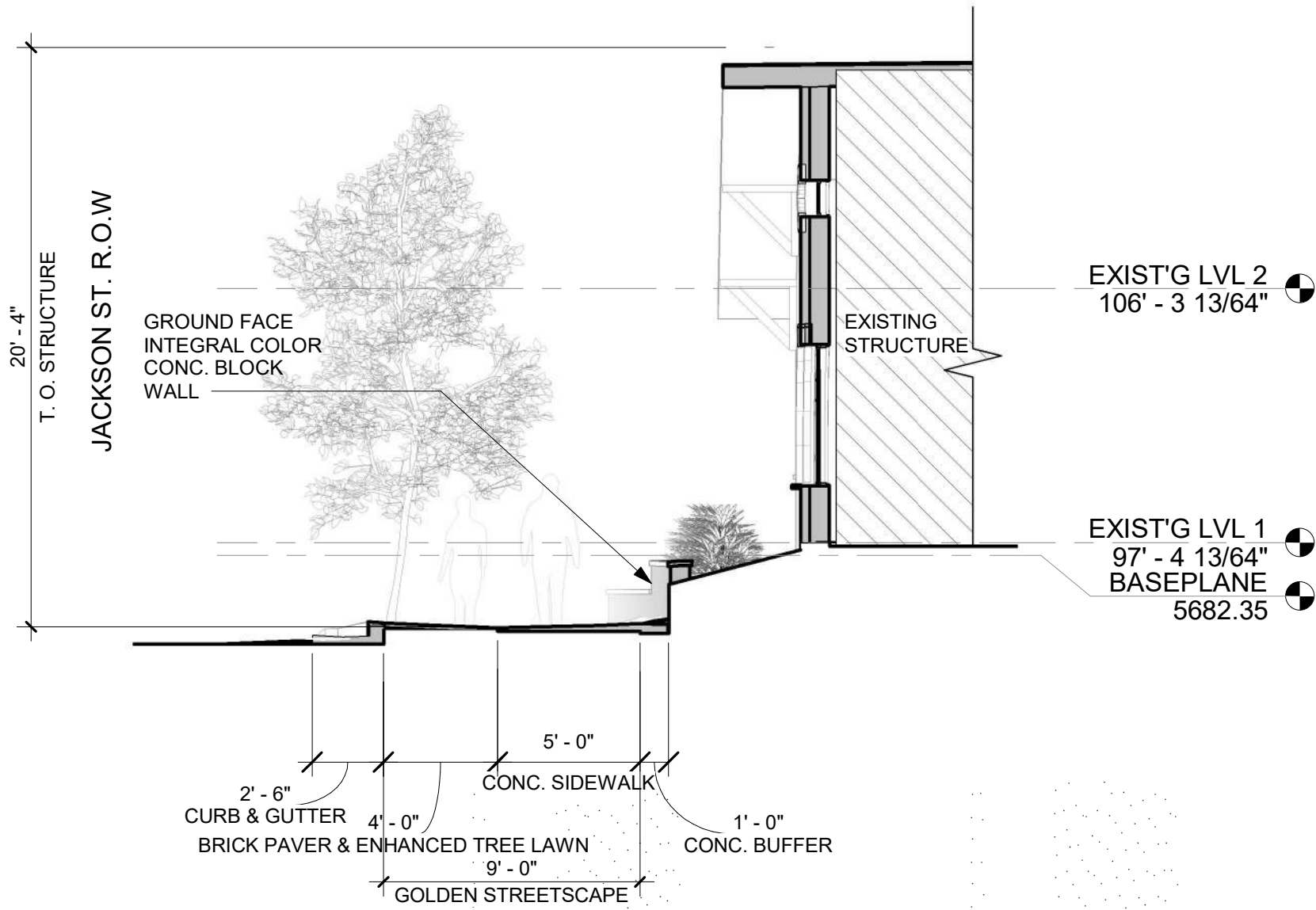
LUMINAIRE SCHEDULE							
PLAN MARK	MOUNTING	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	VOLTAGE	NO. OF LAMPS	LAMP TYPE	REMARKS
A	POLE	12' HEIGHT	LITHONIA DSX0 LED P2 40K T3M MVOLT SPA	120	1	49W LED	WET LOCATION
B	SURFACE	SCONCE	GENERATION LIGHTING CRITTENDEN - 8438501-12	120	1	75W A19	WET LOCATION
C	RECESSED	DOWNLIGHT	HALO PD615	120	1	14W LED	WET LOCATION
S	RECESSED	STEP LIGHT	FC LIGHTING FCSL203 120V LED 35K 340 XX	120	1	17W LED	WET LOCATION
D	GRADE	PATHWAY	SOLARA 21.5" HIGH 12V PATHWAY LIGHT	12V	1	3W LED	WET LOCATION WITH XFMR



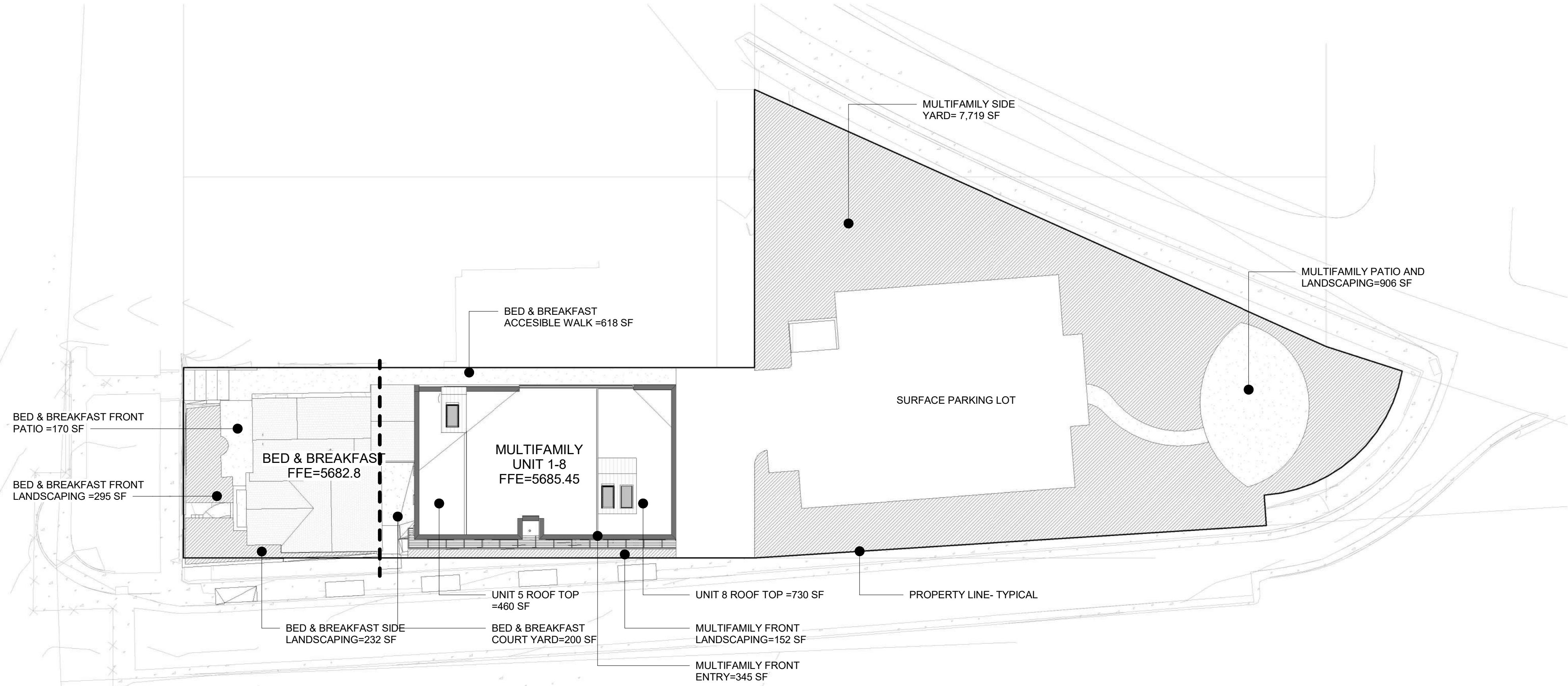
JACKSON EIGHT  
SITE DEVELOPMENT PLAN  
623 14TH STREET GOLDEN COLORADO



2 MULTIFAMILY STREET SECTION  
SCALE: 3/16" = 1'-0"



3 BED & BREAKFAST STREET SECTION  
SCALE: 3/16" = 1'-0"



1 SITE PLAN- OPEN SPACE CALCS  
SCALE: 1" = 20'-0"

City of Golden  
Sustainability Points Worksheet

Menu Item	Points	Documentation Required	Estimated Points Earned	Description of Method of Obtaining Points -
Water Conservation, Storm Water, and Water Quality				
3. Exceed open space requirement by 25% or more. Includes both landscaped and vegetated areas, but excludes ground mounted solar array areas.	2	Site plan shall show area of open space as well as calculation to demonstrate how it exceeds requirement by 25%.	2	RE: SHEET 10 OR 11 FOR OPEN SPACE SPACE SITE PLAN (1) AND OPEN SPACE CALCULATIONS. OPEN SPACE CALCULATIONS SHOW THAT WE ARE AT 57.8% OPEN SPACE.
4. Use EPA Water Sense certified water conservation measures for fixtures including flush urinals, dual flush toilets, faucets and showerheads, drip irrigation with rain sensors and industrial conservation measures.	1-5	One point given for fulfillment of each conservation category throughout the project.	3	PLANS TO DEMONSTRATE: 1 POINT EACH FOR DUAL FLUSH TOILETS, LOW FLOW FAUCETS & SHOWERHEADS, AND DRIP IRRIGATION WITH RAIN SENSORS AND INDUSTRIAL CONSERVATION MEASURES
Storm water and quality control			5	
Transportation				
1. Provide double the minimum of the required amount of bicycle parking on site for one point. One additional point available for providing a bike repair station, and one additional point for providing secure and enclosed parking (e.g. lockers, storage room) for at least 50% of the bike parking needed for double the minimum amount.	3-Jan	Site plan must demonstrate locations and amount of bicycle parking.	1	RE: SITE PLAN ON SHEET 4 OF 11 FOR 2 BIKE RACKS, 4 SPACES LOCATION, 2 SPACES REQUIRED AND WE HAVE PROVIDED 4.
3. Build development within 1/4 mile of public bus stop or 5/8 mile of light rail stop, as measured using a pedestrian's walking distance. Applicant shall also demonstrate enhanced walkability by establishing connections to transit and surrounding areas.	2	Applicant must provide map to scale that demonstrates site boundaries, identifies location of transit stop, and shows walking path and distance between them. Map shall also identify potential barriers for pedestrians.	2	CITY OF GOLDEN BUS STOP IS LOCATED ON THE WEST END OF 17TH AND JACKSON ST.
5. Install additional level 2 or higher electric plug-in stations for hybrid and electric vehicles on-site over the minimum applicable standard set forth in Section 18.40.340 for 1-5 points, or additional conduit over the minimum applicable standard set forth in Section 18.40.340 for 1 point for each 15% of spaces.	1-5 total	Site plan must demonstrate location and number of stations and/or conduit locations, and Applicant must provide product specification sheets.	2	RE: SITE PLAN ON SHEET 4 OF 11 FOR EV LOATION, WE HAVE PROVIDED 2 SPOTS FOR A TOTAL OF 2 POINTS
6. Restrict parking on site to the minimum number of spaces allowed by code. Car share spaces shall reduce the required minimum spaces by a 1:1 ratio. Only standard sales and spaces allowed unless under exclusive easement.	0-3	Site plan shall show parking layout and number of spaces provided, as well as calculation of minimum required.	3	RE: SHEET 4 OF 11 FOR PARKING LOT LAYOUT, NUMBER OF SPOTS AND PARKING LOT REQUIREMENTS/ CALCULATIONS OF MINIMUM SPOTS
Transportation subtotal			8	
Energy Efficiency				
1. Increase energy efficiency of structure over the energy efficiency standard set forth in Section 18.40.340. Points are awarded on a sliding scale with one point for every 2% increase in energy efficiency, up to 25 points. Points may be awarded for efficiency gains in specific systems, such as lighting or mechanical, but more points may be awarded for an integrated design approach.	1-25	Complete REScheck or COMcheck Compliance Certificate for interior and exterior lighting, building envelope, and mechanical equipment, and provide proof of energy modeling for structures and/or additions greater than 10,000 square feet in size, with a defined performance target that demonstrates projected energy efficiency. HERS rating may be used for attached residential units, with one unit serving as the model for all units if identical construction methods are used.	5	RE: RESCHECK TO DEMONSTRATE 10% INCREASE IN ENERGY EFFICIENCY
5. Plant at least 20% additional trees than otherwise required to maximize shade over paved or covered areas in summer (deciduous east, west, south), provide a wind break in winter (evergreens to north) and reduce the urban heat island effect in parking areas and throughout the site.	3	Landscape plan shall demonstrate location and type of trees to be planted, and show the number of trees required versus number proposed. Points awarded based on strategic placement to reduce heat island effect, and can include deciduous vines on trellis structures as well as trees.	3	RE: SHEET 7&8 OF 11 FOR LANDSCAPE PLAN SHOWING THAT WE ARE PLANTING 20% ADDITIONAL TREES THAN REQUIRED.
7. Install heat reflective roof materials. Minimum 29 SR (Solar Reflective Index) materials qualify.	2	Provide product cut sheets that demonstrate compliance at time of site plan submittal.	2	PLEASE SEE ROOF PLAN ON SHEET 5 OF 11 SHOWING HEAT REFLECTIVE ROOF MATERIAL LOCATION AND ADDITIONAL CUT SHEETS HAVE BEEN PROVIDED.
Energy efficiency subtotal			10	
Community Preservation and Revitalization				
1. Preserve an existing structure when increasing square footage or creating additional structures. To receive points, all structures must also be brought into compliance with currently adopted IECC code. Points awarded on a sliding scale with 1 point for the first 1,000 sf and then 1 for every 1,000 sf thereafter, up to a maximum of 5 points.	1-5	Site plan and building plans shall both reflect the building square footage being preserved on site.	2	PLEASE SEE COVER SHEET FOR EXISTING SQUARE FOOTAGE OF BUILDING. EXISTING BUILDING IS 1,894. WE RECEIVE ONE POINT FOR THE FIRST 1,000 AND THEN 1 FOR EVERY 1,000 SF THEREAFTER.
4. Choose an infill site, which can be no greater than one half acre in size, and is defined here by having paved or developed lots adjacent, or across a right-of-way, on at least two sides of the property.	3	Demonstrate at site plan review by showing contextual view of adjacent developed lots.	3	PLEASE SEE SITE PLAN SHOWING THAT WE ARE AN INFILL LOT (AND DEFINED BY ADJACENT PROPERTIES AND/OR RIGHT-OF-WAYS. THE COVER SHEET SHOWS THAT THE LOT SIZE IS .460 ACRES AND THERE FOR LESS THAN 1 ACRE.
Community Preservation and revitalization subtotal			5	
Miscellaneous				
Miscellaneous Subtotal			0	
Total Points			28	

For projects involving the installation of certain high-resource use features, the minimum number of points increases according to the

High Energy-Use Feature	Additional Sustainability Points Required
Gas fire pits exceeding 40,000 BTU	5
Indoor heated swimming pool	5
Outdoor heated swimming pool	10
Hot tub or spa	5
Snow and ice melt system	5
To calculate the total number of required points, sum 25 plus the additional points required for items listed in the schedule above. As an example, the total	
Revised Required Points 25+additional required points	Revised Total Points

OPEN SPACE CALCULATION TABLE:

MULTIFAMILY SIDE YARD	=7,719 SF
MULTIFAMILY PATIO AND LANDSCAPING	=906 SF
MULTIFAMILY FRONT LANDSCAPING	=152 SF
MULTIFAMILY FRONT ENTRY	=345 SF
UNIT 5 ROOF TOP	=460 SF
UNIT 8 ROOF TOP	=730 SF
BED & BREAKFAST COURT YARD	=200 SF
BED & BREAKFAST SIDE LANDSCAPING	=232 SF
BED & BREAKFAST FRONT LANDSCAPING	=295 SF
BED & BREAKFAST FRONT PATIO	=170 SF
BED & BREAKFAST ACCESSIBLE WALK	=618 SF
TOTAL	=11,827 SF
LOT AREA	=20,457 SF
25% OF LOT	=4,091.4 SF
PROVIDED OPEN SPACE	=11,827 SF
	=57.8%



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08.24.2020 City Submittal  
10.15.2020 Rev. City Submittal

OPEN  
SPACE+SUSTAINABILITY

SHEET 10 OF 11

PROJECT NO. 22003



JACKSON EIGHT  
SITE DEVELOPMENT PLAN  
623 14TH STREET GOLDEN COLORADO



VIEW FROM JACKSON ST. LOOKING NORTH-EAST



VIEW FROM JACKSON ST. LOOKING SOUTH-EAST

MmD  
ARCHITECTURE

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3D STREET VIEW

SHEET 11 OF 11

PROJECT NO. 22003